

**BOROUGH OF BALDWIN
ORDINANCE NO. 921**

AN ORDINANCE OF THE BOROUGH OF BALDWIN, COUNTY OF ALLEGHENY AND COMMONWEALTH OF PENNSYLVANIA, AMENDING CHAPTER 168 ("ZONING") OF THE CODE OF THE BOROUGH OF BALDWIN SO AS TO ADOPT AND ESTABLISH A PENNSYLVANIA STATE ROUTE 51 STREETScape ENHANCEMENT OVERLAY DISTRICT.

WHEREAS, the Borough of Baldwin desires to develop and improve the commercial corridor area along Pennsylvania State Route 51 ("Route 51") and to implement long-term planning and safety efforts and strategies which shall provide for a variety of streetscape amenities and design treatments including, but not limited to, sidewalks, crosswalks, street trees, and screened and pedestrian-friendly parking areas; and

WHEREAS, in an effort to protect the health, safety and welfare of the citizens of the Borough, Chapter 168 ("Zoning") of the Code of the Borough of Baldwin must be amended to establish a Route 51 Streetscape Enhancement Overlay ("SEO") District and corresponding zoning regulations within the SEO District; and

WHEREAS, the Borough has prepared a proposed amendment to Chapter 168 of the Code of the Borough of Baldwin, a copy of which is attached hereto, incorporated herein, and labelled as **Appendix "A"**; and

WHEREAS, the Borough held a public hearing on the proposed amendment, duly advertised to the public and held by Baldwin Borough Council on March 15, 2022 at 7:30pm at the Borough Municipal Building located at 3344 Churchview Avenue, Pittsburgh, PA 15227.

BE IT ORDAINED AND ENACTED by the Borough Council of the Borough of Baldwin, County of Allegheny and Commonwealth of Pennsylvania, and it is hereby ordained and enacted by the authority of the same as follows:

Section 1. Adoption. The Council of the Borough of Baldwin hereby adopts the proposed amendment to Chapter 168 of the Code of the Borough of Baldwin, attached hereto as **Appendix "A,"** thereby establishing a Route 51 SEO District and the accompanying zoning regulations within the SEO District.

Section 2. Severability. The provisions of this Ordinance shall be severable and if any court of proper jurisdiction holds any provision of this Ordinance or the application of any provision to be illegal or unconstitutional, then the other provisions of this Ordinance or other applications of such other provisions to other circumstances, shall remain in full force and effect. Further, that any Ordinance or part of any Ordinance

conflicting with the provisions of the Ordinance be and the same hereby is repealed insofar as it affects this Ordinance.


Section 3. Repealer. Any resolution of the Borough of Baldwin inconsistent herewith are repealed, in whole or in part, as to the extent of said conflict.

Section 4. Effective Date. This Ordinance shall be effective upon passage in accordance with the requirements of the Borough Code.

ORDAINED and ENACTED into law by the Borough Council of the Borough of Baldwin, Allegheny County, Pennsylvania, this 19th day of April, 2022.

ATTEST:

BOROUGH OF BALDWIN



Robert Firek
Borough Manager



E. John Eggen
Baldwin Borough Council **PRESIDENT**

Examined and approved this 19th day of April, 2022.



David Depretis, Mayor

APPENDIX "A"

**BOROUGH OF BALDWIN
CODE**

§168-___Route 51 Streetscape Enhancement Overlay (“SEO”) District.

- A. **Purpose.** The purpose of the SEO District regulations is to promote the development of a safe, inviting, and accessible commercial corridor along Pennsylvania State Route 51 that is easily navigable by vehicular traffic, bicyclists, and pedestrians. The regulations provide for a variety of streetscape amenities and design treatments including, but not limited to, sidewalks, crosswalks, street trees, and screened and pedestrian-friendly parking areas. The SEO District regulations shall serve as an additional series of site plan requirements applicable to the development, redevelopment, or alteration of commercial uses and properties, and are to be implemented with the site plan in addition to all standard requirements of the base commercial zoning district within which the property or commercial use is located.

Other objectives include:

- (1) Regulation of public and private improvements relative to commercial uses located in the corridor and to increase flexibility for site design.
- (2) Implementation of long-term planning efforts and strategies for the corridor, including but not limited to the AIA Center for Communities by Design, Sustainable Design Assessment Team project for Allegheny County (2010).
- (3) Management of the future development of strip type, auto-dependent, commercial uses to minimize traffic conflicts and pedestrian safety problems and creation of an overall cohesive character for the streetscapes along the corridor.
- (4) Enhancement of pedestrian circulation and pedestrian-oriented streetscapes through the use of sidewalks and pedestrian areas.
- (5) Creation of consistent and cohesive streetscapes through the use of effective landscaping and screening.
- (6) Definition of the character and identity of the corridor through the effective use of unified elements of the streetscape such as street trees, landscaping, hardscapes, street furniture, and accessory structures.
- (7) Encouragement for the installation of landscape elements and visual screening of off-street parking areas.
- (8) Promotion of green construction and maintenance practices so as mitigate the environmental impact of development.

- B. **District boundary lines.** The SEO District shall extend to all lots abutting Pennsylvania State Route 51, as shown on the Zoning Map.
- C. **Relation to other zoning districts.** The SEO District shall not modify the boundaries of any underlying zoning district. Where identified, the SEO District shall impose certain requirements on land use and construction in addition to those contained in the underlying zoning district.
- D. **Preexisting nonconforming uses.** The regulations prescribed by this article shall not be construed to require change to any existing development or structure not conforming to the regulations as of the effective date of this article until one of the applicability criteria detailed in Section E is met.
- E. **Applicability.** The requirements of the SEO District are mandatory for the development, redevelopment, or alteration of properties abutting Pennsylvania State Route 51 that fall within the boundaries of the Borough of Baldwin, when any of the following criteria is met:
- (1) Any land development or commercial change of use requiring site plan review;
 - (2) Expansion of any building by more than 25% of the gross floor area; or
 - (3) Alteration of any building at an estimated cost of at least 25% of the property's total assessed value, as recorded on the Allegheny County Real Estate Portal, current year Total Assessed Value when compared to the cost of improvement submitted with the building permit application.

Should the requirements of the SEO District conflict with the provisions of any other section of the Zoning Ordinance, or any other chapter of the Baldwin Borough Code, the more restrictive provisions shall apply. The more restrictive provision is defined as the provision that imposes more stringent controls on land use and development. All provisions controlling land development in the Borough of Baldwin subdivision and land development ordinances shall apply.

Applicants may provide alternate design standards solutions which support the SEO objectives for consideration and approval by the Borough Council.

Any applicable SEO District requirements are subject to variances, which may be sought and granted in accordance with the provisions of section 168-600(H) of the Baldwin Borough Code.

- F. **Application requirements.** A Streetscape Enhancement Overlay Plan that conforms to the regulations of the SEO District must be submitted when a land development application or

building permit application is submitted for any property in the SEO District meeting one or more of the applicability criteria. The Streetscape Enhancement Overlay Plan shall include the following:

- (1) Pre-application Planning Commission review (optional).
- (2) A site plan that conforms to the requirements of the Subdivision and Land Development Ordinance.
- (3) A project narrative that includes both written and graphical descriptions of how that proposed application promotes development pursuant to the SEO District design standards and general design guidelines and integrates with the community.
- (4) Drawings and photographs of existing conditions, and conceptual sketches or illustrative sketches of proposed enhancements under the SEO District regulations.
- (5) Prioritization Worksheet, Appendix A; The worksheet provides guidance with regards to required elements and adaptable elements.

G. **Design standards.** In the SEO District, the following regulations shall be applied to the development of any commercial properties pursuant to Section E of this article. All applicable standards and requirements of the respective base zoning district as further identified on the official Zoning Map shall apply to the SEO District. However, in case of conflict, the SEO standards shall take precedence.

Conceptual layouts and standard detail requirements are provided in Appendix B.

(1) **Requirements:** The following Design Standards are Required Design Elements in the SEO District.

a. **Driveway.**

- i. The driveway shall be designed, operated, and maintained in accordance with PennDOT standards and the approved Highway Occupancy Permit ("HOP").
- ii. The driveway shall feature clearly defined ingress and egress for vehicular traffic.

b. **Pedestrian linkages.**

- i. All main and secondary entrances to buildings shall be directly linked with a public sidewalk.
- ii. A clearly defined and marked sidewalk shall be required within parking lots and shall be provided for the length of the parking lot to the entrances of establishments.

c. **Sidewalks.**

- i. Sidewalks shall be constructed in the right-of-way, shall be parallel to the public street for the entire length of the frontage, and shall be installed to connect to the lot line of adjacent parcels.
- ii. Public sidewalks shall comply with the following standards: A minimum sidewalk width of six feet (6'), which shall include a minimum of three feet (3') of sidewalk space that is unobstructed.
- iii. Pavement materials that may result in a slippery or uneven walking surface shall not be used.
- iv. Accessible curb ramps shall be located, installed and maintained in accordance with PennDOT Highway Occupancy Permit ("HOP") approvals and accessibility requirements.
- v. Sidewalks shall be installed, owned, operated and maintained and kept free of litter, trash, and debris, including snow removal on a daily basis.
- vi. If it is determined that the sidewalk installation in conformance with this section is technically infeasible due to topographic issues, a reasonable alternative public pedestrian access system shall be designed and considered for approval with the site plan. An alternative sidewalk location on the property may be considered to provide continuity for pedestrian access throughout the corridor.

d. **Buffer Strip.**

- i. A buffer strip, minimum of 3' wide shall be provided between the sidewalk and the roadway.
- ii. Buffer strips shall be landscaped with exceptions for locations where landscape is not sustainable.
- iii. Hardscaped will be a surface material with structural soil beneath to accommodate street trees.
- iv. Buffer strips shall be installed, maintained and kept free of litter, trash, and debris, on a daily basis.
- v. Buffers strips shall be designed to accommodate the installation of street trees and pedestrian lights.

(2) **Adaptable Requirements:** The Prioritization Worksheet shall be utilized to provide incorporate additional Adaptable Requirements in addition to the Required elements detailed in item (1) above. A rating of "complies with overlay" must be obtained by a combination of elements detailed below as determined by the Applicant. The Borough may approve alternate design solutions which support the SEO District if additional elements are provided to exceed the minimum compliance rating on the Prioritization Worksheet.

a. **Building Orientation.**

- i. Provide a prominent and highly visible street-level doorway or entrance along the front side of the building that faces a public street. The applicant may alternatively propose to face the doorway or entrance toward an access driveway or primary parking area.
- b. **Accessory Buildings and uses.**
 - i. Provide architectural features similar to the overall neighborhood character.
 - ii. Design screening devices surrounding dumpsters, mechanical equipment, and utility boxes to be architecturally compatible to the buildings located on the site.
 - iii. Design enclosed dumpster areas to provide convenient accessibility to both vehicles and pedestrians.
- c. **Benches.**
 - i. Install and anchor one bench for every 300 linear feet of street frontage. However, this requirement shall not apply where an existing bench, installed and maintained in conformance with this article, sits on an adjacent parcel within 300 linear feet of the subject property's nearest lot line.
 - ii. Benches shall be located along the public sidewalk. If such location would constitute a pedestrian safety hazard, the applicant may alternatively propose to locate benches within other pedestrian spaces located on the site.
 - iii. Benches shall be dark blue or black in color, shall be constructed of durable materials, and shall have a decorative design conforming to the attached general design guidelines in Appendix B. Graffiti-resistant surfaces should be used wherever possible.
- d. **Bicycle racks.**
 - i. Install and anchor one rack for every 40 automobile parking spaces or portion thereof. Each rack shall be capable of providing parking for at least two bicycles.
 - ii. Racks shall be located within pedestrian areas and shall be placed near the building entrance.
 - iii. Racks shall be situated so as not to hinder pedestrian access.
 - iv. Racks shall be sturdily anchored to the ground.
 - v. Racks shall be dark blue or black in color, shall be constructed of durable materials, and shall conform to the attached general design guidelines. Graffiti-resistant surfaces should be used wherever possible.
- e. **Bollards.**
 - i. Where necessary, bollards shall be used to prevent vehicles from entering pedestrian areas.

- ii. Bollard placement shall not interfere with emergency vehicle access.
 - iii. Bollards that are intended to block vehicular access must be placed no further apart than five feet on center.
 - iv. Bollards shall be painted in colors other than gray to be easily seen by the visually impaired, in colors that complement other streetscape elements.
 - v. If bollards are located in an area that can be accessed by a motor vehicle, the method of grounding should be considered to minimize damage to surrounding surfaces and allow for easy replacement.
- f. **Building transparency.**
- i. Design street-level facade of any building facing a public street, access drive, or main parking area to be transparent from a height of three feet to a minimum height of eight feet above the walkway grade for at least 50% of the horizontal length of the structure.
 - ii. All glazing shall be clear, lightly tinted, or spandrel glass.
 - iii. Spandrel glass may only be used to achieve the transparency requirement if spandrel and visual glass are not located along the same wall plane.
- g. **Crosswalks.**
- iii. Provide crosswalks across the width of the driveway approach apron.
 - iv. Crosswalks shall be as wide as the sidewalks to which they connect.
 - iii. Crosswalks shall be constructed of stamped concrete.
 - iv. Crosswalks within PennDOT roadway or right-of-way shall be visually distinctive and designed, located, constructed and maintained in accordance with PennDOT standards and specifications.
- h. **Driveway.**
- i. When two adjacent property owners enter into a PennDOT-approved and recorded shared driveway agreement to combine access points, the Borough may grant an incentive bonus as part of the site plan review and approval process, which may reduce the required number of parking stalls by up to ten percent (10%) for the development, or increase by up to ten percent (10%) the building lot coverage.
- i. **Lighting.**
- i. Provide pedestrian-scaled, ornamental streetlights in the right-of-way and locate adjacent to the sidewalk.
 - ii. Standard placement of pedestrian-scaled, ornamental streetlights shall be one fixture per 100 linear feet of street frontage. The applicant may propose alternate spacing, provided that pedestrian spaces are sufficiently illuminated so as to provide safe movements on the site. Light levels should be uniform across the space with a minimum of 2 fc

and a max of 5 fc. Cut-off type fixtures shall be used to reduce light trespass and glare.

- iii. Pedestrian-scaled, ornamental streetlights shall be at least 12 feet in height but no taller than 25 feet in height from the mounting surface to the top of the fixture.
- vi. Pedestrian-scaled, ornamental streetlights shall be dark blue or black in color, shall be constructed of durable materials, and shall conform to the attached general design guidelines.

j. Parking.

- i. Design parking areas to be located adjacent to the sides and rear areas of the lot.
- ii. Screen from view of the street using a buffer strip that includes trees, shrubs, groundcovers, or decorative fencing in accordance with other provisions of the Zoning Ordinance. Wire fabric fencing or similar materials are prohibited for use as a decorative fence. No part of the required buffer strip shall obstruct the clear-sight triangle or intersection visibility requirements of this chapter.
- iii. Link parking to the structure by a pedestrian sidewalk or walkway.
- iv. Provide lighting for parking areas in accordance with the Zoning Ordinance. Illumination levels shall provide sufficient area lighting for adequate safety, yet not detract from or over-emphasize the site or building.

k. Street trees.

- i. Provide one street tree at an average interval of every thirty (30) linear feet of frontage and locate adjacent to the sidewalk.
- ii. Street trees shall be high-branching with a canopy that starts at least six feet (6') above finished grade, only street trees suitable for urban environments and with growth habits that minimize interference with utilities should be selected. Trees planted between a sidewalk and street curb must have a minimum nonpaved planting area of eighteen (18) square feet, with a minimum depth of three (3) feet. depending on species or cultivar, and have roots that will not break up sidewalks or streets or interfere with utility lines. Tree selection shall be subject to approval by Borough.
- iii. Street trees shall be placed so as not to interfere with sight distance or visibility at any intersection, driveway, or parking area that would create a safety concern.
- iv. Street trees shall be installed and maintained along public sidewalks within the corridor but located at least fifteen feet (15') from utility poles, light posts, and fire hydrants; at least twenty feet (20') from the edge of the curb at street intersections; and at least ten feet (10') from driveways. The Borough may accept an alternative street tree location

plan which maintains an equivalent density or coverage at the site to accommodate sight distance requirements for driveways or intersections or to avoid public utilities and infrastructure.

- v. Specific types and species of acceptable trees can be found at the updated Recommended Species List provided by the City of Pittsburgh Forestry Division. The Brentwood-Baldwin-Whitehall Shade Tree Commission may be contacted for consultation as a Borough sponsored advisory committee.

l. Transit shelters.

- i. Public transportation system needs, including bus stops, must be accommodated to support quick and reliable transit service along the corridor.
- ii. Bus shelters shall be provided at the discretion of the Borough in conjunction with the approval of the Allegheny County Port Authority (ACPA) transit system at appropriate locations to facilitate transit use by providing places of refuge, especially during periods of inclement weather. Transit shelters shall conform to the ACPA guidelines.
- iii. Shelters shall be located where the sidewalk width is extended and the paved area is sufficient to accommodate at least the minimum required clear travel around the shelter and the ability to accommodate expected pedestrian volumes.
- iv. Transit shelters shall be designed to provide protection from the sun, wind, and rain. Additional amenities such as real-time arrival information, night time lighting, and trash receptacles shall be provided if possible. Graffiti-resistant surfaces should be used wherever possible.
- v. Transit shelters should be designed to promote transit and energy efficiency by incorporating features such as solar panels and LED lights.
- vi. Transit shelters shall conform to the attached general design guidelines.

m. Utilities.

- i. When possible, utilities should be located underground. If this condition cannot be satisfied, utilities should be located to the side or back of the building where they will be out of view of the public street.
- ii. Utilities must be screened from view through the use of landscaping or architectural screening.

n. Vehicular linkages.

- i. Connect parking areas to adjacent parcels through a rear or side access driveway to the extent possible.
- ii. When a parking area is constructed adjacent to an undeveloped lot, the access drive shall be extended to the lot line for future connection to the adjacent parcel.

o. Waste receptacles.

- i. Locate waste receptacles near high pedestrian activity uses and locations including store fronts and transit stops.
- ii. There shall be at least one waste receptacle located adjacent to the sidewalk at a maximum spacing of every three hundred linear feet (300') of frontage. However, this requirement shall not apply where an existing waste receptacle, installed and maintained in conformance with this article, sits on an adjacent parcel within three hundred linear feet (300') of the subject property's nearest lot line.
- iii. One waste receptacle shall be located at each corner of each intersection. However, no waste receptacle shall obstruct the clear-sight triangle or intersection visibility requirements of this chapter.
- iv. Waste receptacles shall be dark blue or black in color, shall be constructed of durable materials, and shall have a decorative design conforming to the attached general design guidelines. Graffiti-resistant surfaces should be used wherever possible.
- v. Waste receptacles shall be installed, owned, operated and maintained by the property owner, the surrounding area shall be kept free of litter, trash, and debris, including snow removal to facilitate access, on a daily basis.

H. Implementation. The SEO regulations shall be implemented and maintained as follows:

- (1) All improvements shall be maintained by the property owner abutting the Pennsylvania State Route 51 right-of-way.
- (2) Property owners may enter into an agreement with other property owners adjacent to their property for shared maintenance responsibility. In such instances, the applicant shall submit a copy of the maintenance agreement as part of the Streetscape Enhancement Overlay Plan.
- (3) Maintenance responsibilities shall include ongoing sweeping, debris removal, waste receptacle waste removal, snow removal, landscape maintenance, and repair and replacement of all street enhancement features.
- (4) Any structure or improvement that is damaged, destroyed, or otherwise nonfunctional shall be replaced or repaired within 90 days of receipt of notice from the Borough to replace or repair same.
- (5) All other applicable Borough requirements, codes, ordinances, and PennDOT regulations shall be met.

Appendix A

Streetscape Enhancement Overlay Design Guidelines



Requirements Worksheet

Section	Element/Amenity	Design Standard	Score	Totals
Requirements				
G1.a.	Driveway	clear ingress/egress delineation	REQ	
G1.b.	Pedestrian Linkages	building links to public sidewalk	REQ	
		building links to parking area	REQ	
G1.c.	Sidewalks	sidewalks continuous along public ROW	REQ	
G1.d.	Buffer Strip	sidewalk buffer strip (hardscape or landscape)	REQ	

Adaptable Requirements				Subtotal
G(2).a.	Buildings			0
		Building entry faces a public street	2	
		Façade parallel to Rt. 51	1	
		Entry faces Rt. 51	1	
G(2).b.	Accessory Buildings			
		architectural character	1	
		screening for dumpster/mechanical equipment	1	
		convenient access to dumpster	1	
		Front Yard Setback (minimized)	1	
G(2).c.	Benches			0
		1 bench / 300 LFT	3	
		benches along sidewalk	1	
		pocket park	1	
G(2).d.	Bicycle Rack			0
		1 rack / 40 vehicle parking spaces	3	
		near building entry	1	
		bike facility	1	
G(2).e.	Bollards			0
		bollards provided to protect ped spaces	1	
		bollards provided as path lighting	1	
G(2).f.	Building Transparency			0
		50% of horizontal façade is transparent	2	
		glazing is translucent or clear	1	
		view into building is un-obstructed	1	
G(2).g.	Crosswalks			0
		provided	3	
		stamped concrete	1	
		creative design	1	
G(2).h.	Driveway			0
		combined access on Rt. 51	3	
		sidestreet ingress/egress	2	
		pervious pavement	1	
G(2).i.	Lighting			0
		1 street light/100 LFT	3	
		street light scale (12')	2	
G(2).j.	Parking			0

Appendix A

Streetscape Enhancement Overlay Design Guidelines

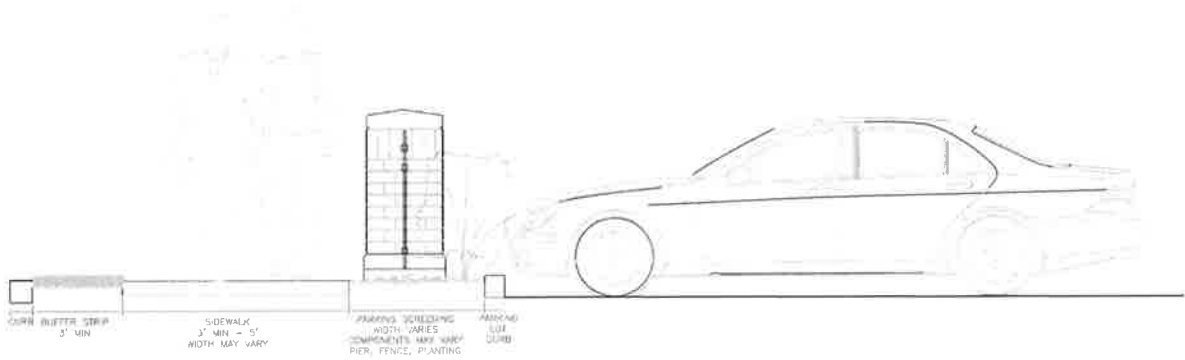


Requirements Worksheet

		side / rear of building	3	
		parking screening	1	
		parking lot lighting	2	
		Shared parking	3	
		BMP / pervious	1	
G(2).k.	Street trees			0
		1 tree / 30 LFT	3	
		tree commission selection supported	2	
		alternative tree location	1	
		additional trees	1	
G(2).l.	Transit Shelter			0
		coordinated with Allegheny Co. PAT	1	
		access to/from sidewalk	2	
		transit pad	3	
		transit seating	2	
		transit shelter	2	
		shelter lighting	1	
G(2).m.	Utilities			0
		utilities underground	1	
		utilities screened	1	
G(2).n.	Vehicular Linkages			0
		between parcel connectivity	1	
G(2).o.	Waste receptacles			0
		waste near high traffic pedestrian spaces	3	
		waste receptacle at intersections	1	
		waste receptacles /300 LFT	1	
H1.	Between property agreements			0
		amenity groupings (pocket parks)	1	
		amenity groupings (bike facilities)	1	
		totals		0

Adaptable Requirements Scoring

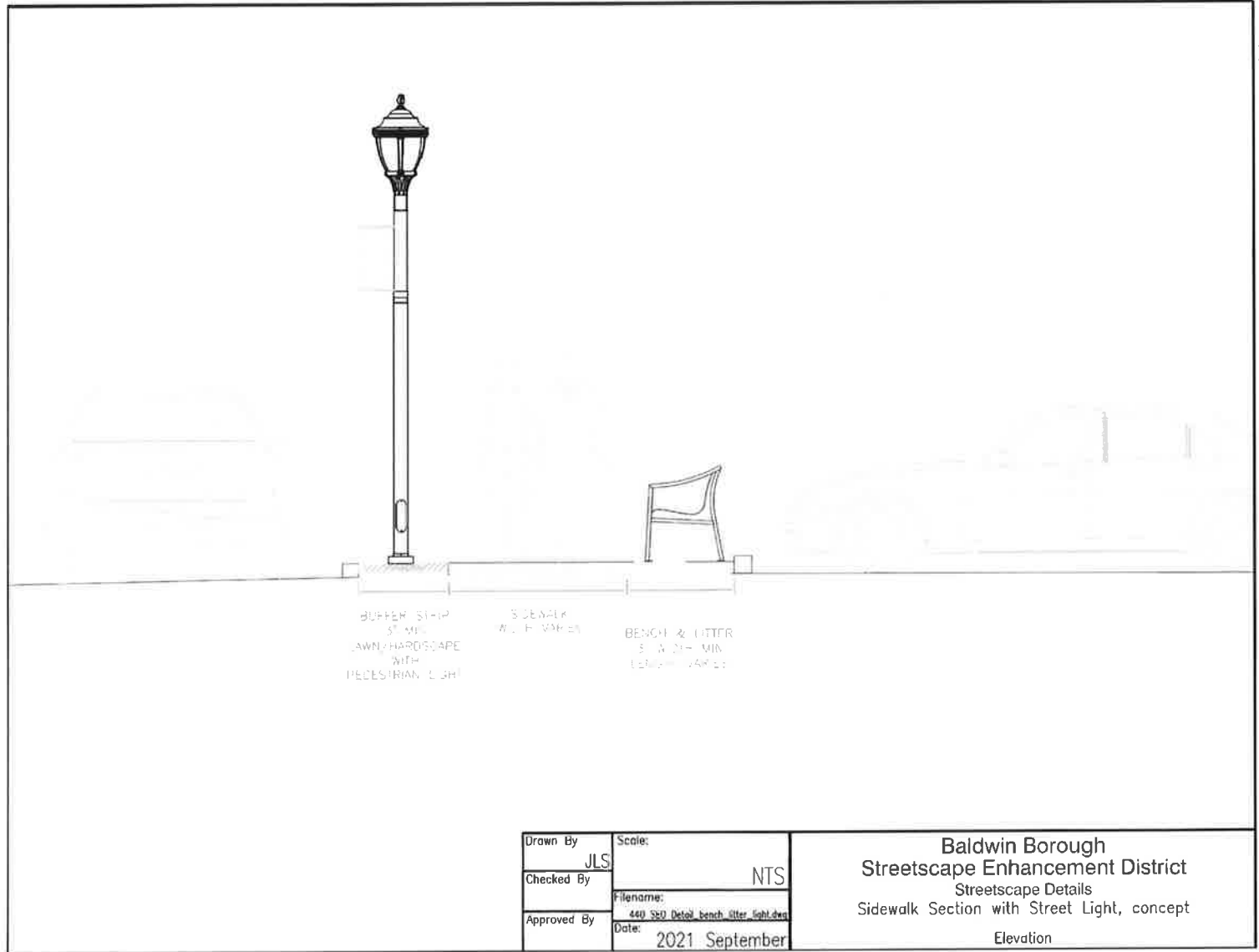
<u>score</u>	<u>rating</u>
<45	does not comply with Overlay District Intent
45	complies with Overlay District intent
45<	exceeds Overlay District intent (may qualify for additional considerations)



CURB BUFFER STRIP
 3' MIN
 SIDEWALK
 3' MIN - 5'
 WIDTH MAY VARY
 PARKING SCREENING
 WIDTH VARIES
 EQUIPMENTS MAY VARY
 PIER, FENCE, PLANTING
 MINIMUM
 10'11
 CURB

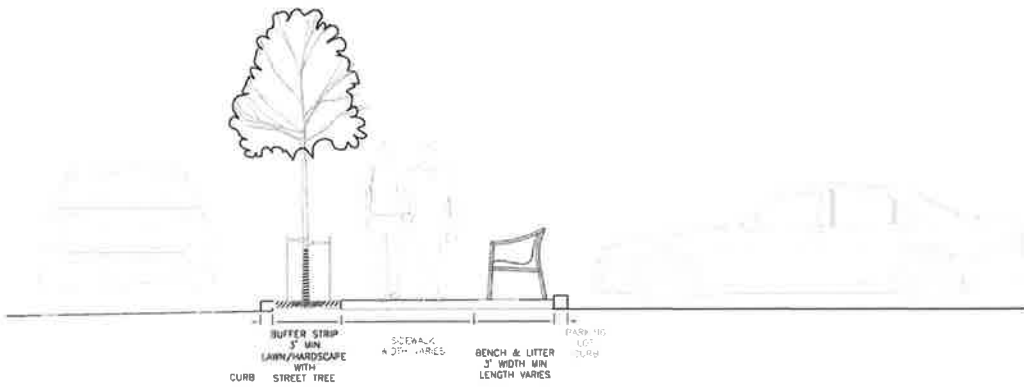
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Checked By		Filename:	440 SEO Detail_Pier And Fence Line.dwg
Approved By		Date:	2021 August

Baldwin Borough
 Street Enhancement Overlay
 Streetscape Details
 Parking Screening concept
 Elevation



Drawn By	JLS	Scale:	NTS
Checked By		Filename:	440 SED Detail_bench_litter_light.dwg
Approved By		Date:	2021 September

Baldwin Borough
Streetscape Enhancement District
 Streetscape Details
 Sidewalk Section with Street Light, concept
 Elevation



BUFFER STRIP
 3' MIN
 LAWN/HARDSCAPE
 WITH
 CURB STREET TREE

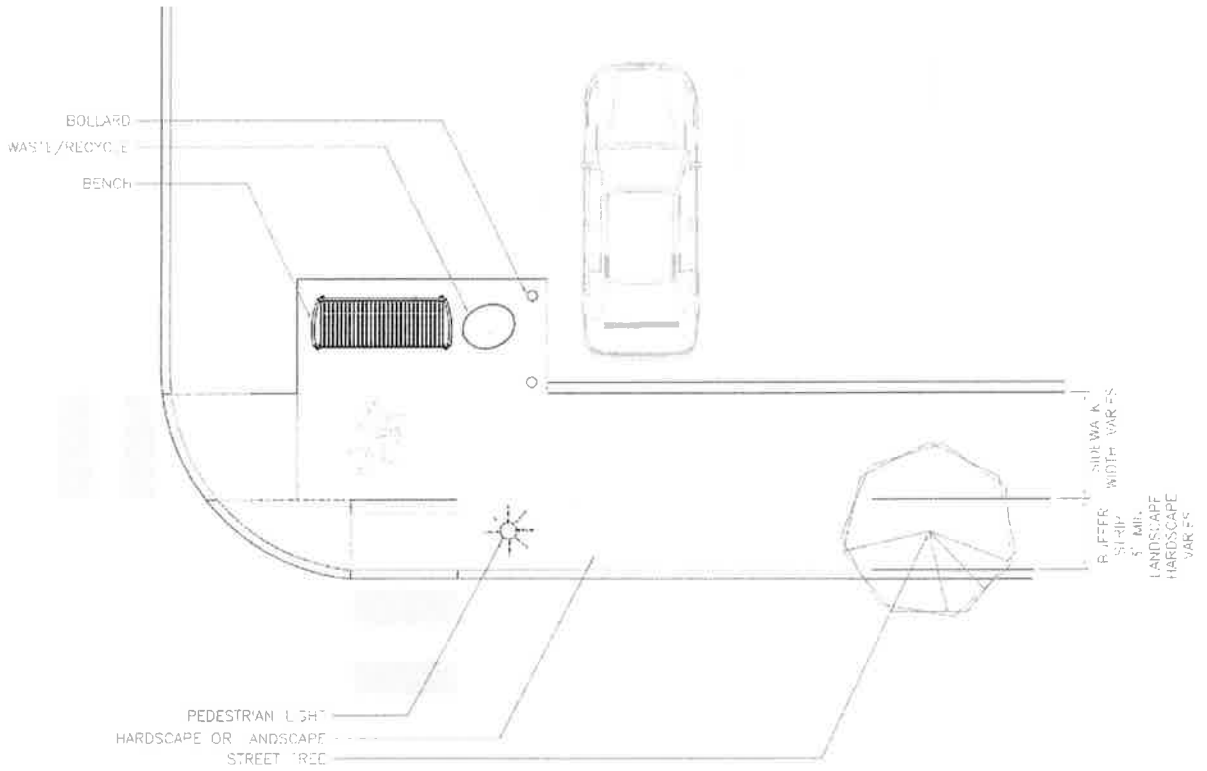
SIDEWALK
 4' MIN WIDES

BENCH & LITTER
 3' WIDTH MIN
 LENGTH VARIES

PARKING
 LOT
 CURB

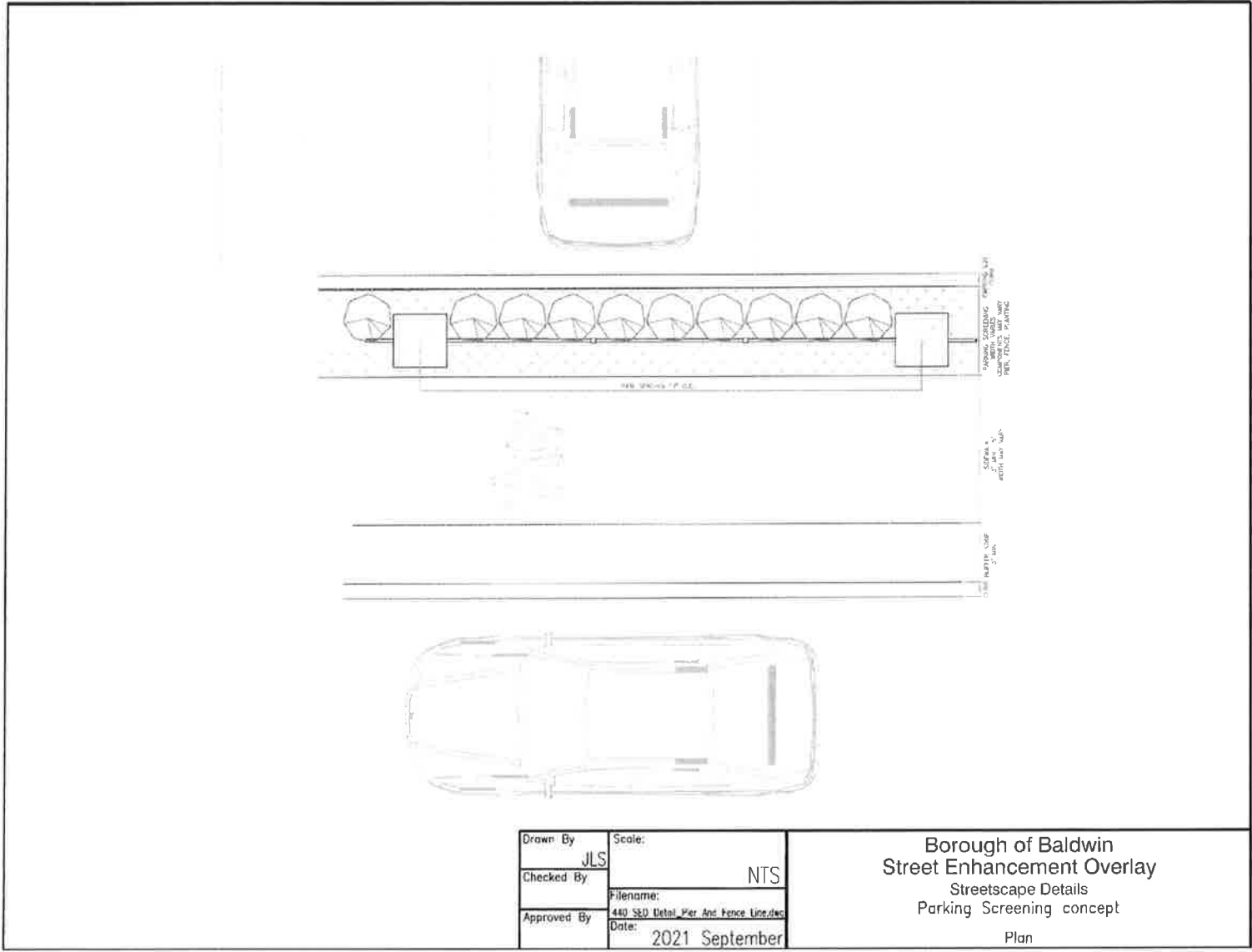
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Approved By		Date:	2021 September

Baldwin Borough
Streetscape Enhancement District
 Streetscape Details
 Sidewalk Section with Pedestrian Tree, concept
 Elevation



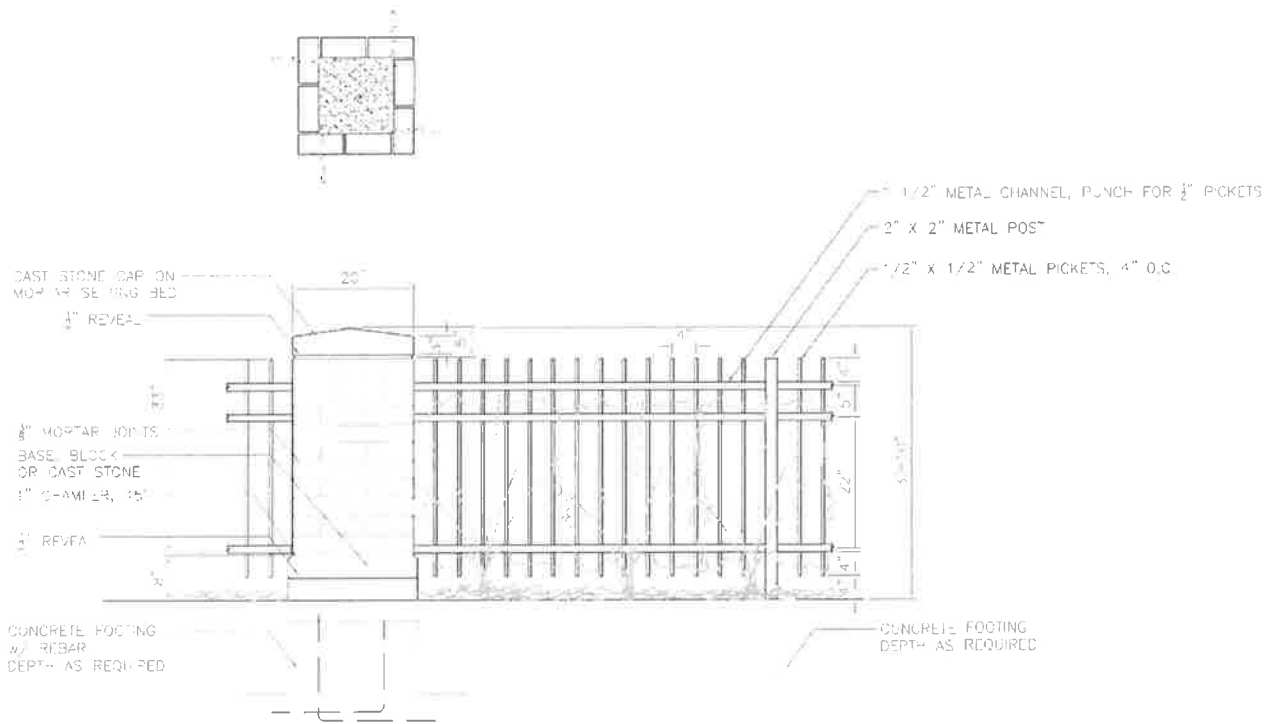
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Approved By		Date:	2021 September

Baldwin Borough
Streetscape Enhancement Overlay
 Streetscape Details
 Sidewalk Intersection, concept
 Plan



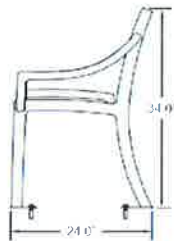
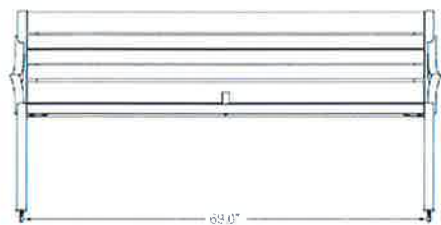
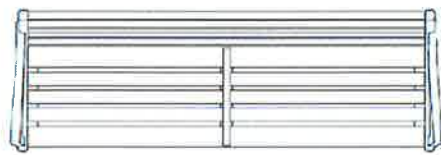
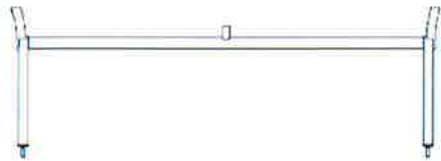
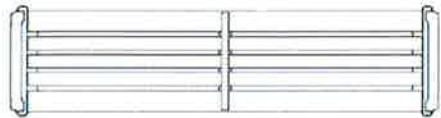
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Approved By		Date:	2021 September

Borough of Baldwin
 Street Enhancement Overlay
 Streetscape Details
 Parking Screening concept
 Plan



Drawn By JLS	Scale: NTS
Checked By JLS	Filename: Detail_Pier And Fence Line.dwg
Approved By JLS	Date: 2021 September

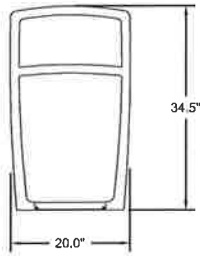
Borough of Baldwin
 Street Enhancement Overlay
 Streetscape Details
 Pier and Fence Line
 detail



Cordia © Forms + Surfaces
bench / backless bench, embedded

Drawn By	JLS	Scale:	NTS
Checked By		Filename:	SEO Detail Site Furnishing.dwg
Approved By		Date:	2021 August

Borough of Baldwin
Streetscape Enhancement Overlay
site furnishing
Bench
concept detail

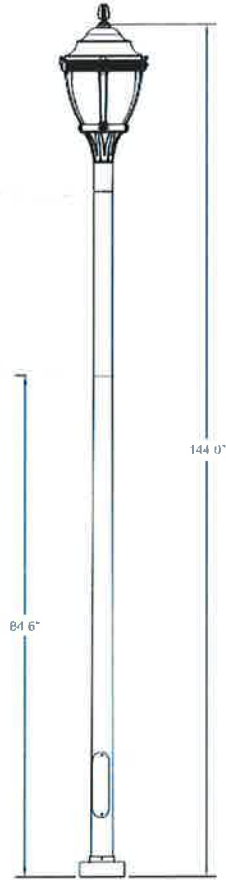


Cordia © Forms + Surfaces
bicycle, embedded

Drawn By	JLS	Scale:	NTS
Checked By		Filename:	SEO Detail Site Furnishing.dwg
Approved By		Date:	2021 August

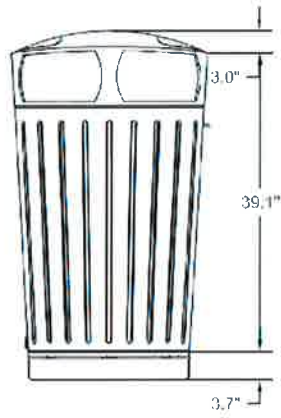
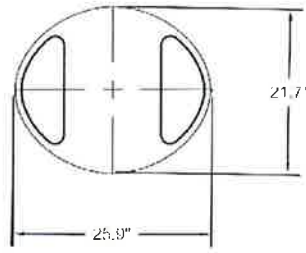
Borough of Baldwin
Streetscape Enhancement Overlay
site furnishing
Bicycle Rack
concept detail

1200M Visco Lighting
Streetlight, Luminaire,
pole w/ banner mount



Drawn By	JLS	Scale:	NTS
Checked By		Filename:	SEO Detail Site Furnishing.dwg
Approved By		Date:	2021 August

Borough of Baldwin
Streetscape Enhancement Overlay
site furnishings
Street Light
concept detail



Dispatch © Forms + Surfaces
litter/recycle, embedded

Drawn By	Scale:
JLS	NTS
Checked By	Filename:
440	SEO Detail Site Furnishing.dwg
Approved By	Date:
	2021 August

Borough
Streetscape En
site 1
Waste / Re
conc